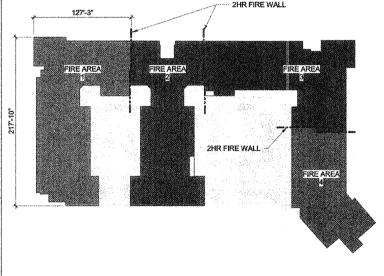
RETAIL Grand total	VCE			g	AREA 65 SF 65 SF	***********************
		A 8.81	O DE E MENTE			
				ARE		
SPA LEASING Grand total	CE			35	AREA 192 SF 192 SF	
			AMMENI			
SPA CLUBHOUSE FITNESS	CE			1	AREA 035 SF 495 SF	
ROOF DECK SCREENING RO Grand total	ООМ			1:	819 SF 16 SF 865 SF	

		JNIT /	NREA	/ & C(DUNT	gang. Landa dina kiban kiban dina dina dina dina dina dina dina di
UNIT CATI		AVERAGE S.F. 650	UNIT COUNT 53	% UNIT MIX 25%		
ONE BEDROO	M	778 1154	63 74	30% 35%		
THREE BEDRO		1505	23 213	11%		ı
UNIT TYPE	UNIT COUNT	AREA DE	CK ST	ORAGE	TOTAL	
S1 S2 S3	30 6 9 7	60 SF 12 07 SF 0	OSF (70 SF 0 SF 0 SF	714 SF 780 SF 707 SF	
A1 A2 A3	1 8	59 SF 66	SF SF	OSF OSF	843 SF 916 SF 815 SF	
A4 A5	2 6 4 8	84 SF 66 35 SF 60	SF SF	0 SF	750 SF 940 SF	
GARDEN - TI C2	9 1	184 SF 26 346 SF 0	OSF SF	OSF OSF	1211 SF 1445 SF 1346 SF	NOTES: S=STUDIO
C2.1 C3 C5	3 14 12 15	146 SF 28 598 SF 90	8 SF	0 SF 0 SF 0 SF	1540 SF 1734 SF 1688 SF	A = ONE BEDRO B = TWO BEDRO C = THREE BEDRO GARDEN = TWO
TOTAL		035 SF	R.E			
UNIT COUNT 213		nacconoccaccontrodococc	REA 541 SF			
LEVEL 1ST STORY		COUNT 9	AF	REA 50 SF		
2ND STORY 3RD STORY		47 51	443: 4827	31 SF 77 SF		
4TH STORY 5TH STORY		53 53 213	5013	36 SF 36 SF 41 SF		
4TH STORY 5TH STORY ROOF TOTAL EFFICIENCY: 76	.90 %		5946 1289	6 SF 4 SF 9 SF 33 SF		
		UNI	TST	ORAG) Ec.	
TENANT STO		IGNED) AREA		TENANT STOR		UNASSIGNED) AREA
S1-1 S1-2	83 86	SF	ě.	S - COMBINI	ED.	3285 SF 3285 SF
S1-3 S1-4 S1-5	78 82 82	SF SF	[3	S - COMBIN	ED	214 SF 214 SF
S1-6 S1-7	100 79	SF SF		GRAND TO		3499 SF
S1-8 S1-9 S1-10	82 79 82	SF SF				
S1-11 S1-12 S1-13	82 97 102					
S1-14 BASEMENT GRAND TOTA	99 121	**********				
IOTE: STORAGE A	ABOVE IS IN ALL LL UNITS PER	DOITION TO A				T OF STORAGE TH PLANS FOR LOCA
REQUIRED STORA	EAREA (GLA)		·			
NY BASEMENTS, ROM THE CENTE INE ON THE EXTE	MEZZANINES, RLINE OF PAR RIOR SURFAC IE FULL THICK	OR UPPER F TITIONS THA ZE OF EXTERI NESS OF ALL	LOORS, FO I SEPARAT OR ENCLO OTHER EN	R EACH OC E ADJACEN SURES, FRO ICLOSING W	CUPANT, I T OCCUPA OM THE LE VALLS, NO	AN OCCUPANT, IN T IS GENERALLY M NNTS, FROM THE M ASE LINE AT COMI DEDUCTIONS IS M BLA. BOMA 2010
	PLUI	VIBING	FIX	TURE	COL	INTS
1. POOL, SPA	A FACILITIES	*	3E		T	OCCUPANT
POOL	905 SF 110 SF 1015 SI		WATE	R SURFAC		LOAD FACTOR PLUMBING 15
TOTAL			The state of the s	ACILITIES	FOUNTA	IN (1/250)
	BATHERS	CONTRACTOR OF THE PROPERTY OF	PER 50)	Dimento	1	
NUMBER OF	BATHERS 3	SHOWER (1	OCC, GROUP A-3	OCC. LC	1 DAD FACT JMBING 15	TOR P. OCC. LOAD 70

MU-10 BUILI	DING CODE ANALYSIS
1. OCCUPANCY CLASSIFICATION, OCCU	PANT LOAD & EXITING REQUIREMENTS
OCCUPANCY CLASSIFICATION	GROUP R-2
FUNCTION OF SPACE (TABLE 1004.1.2)	RESIDENTIAL
OCCUPANCY CLASSIFICATION FUNCTION OF SPACE (TABLE 1004.1.2)	GROUP S-2 PARKING GARAGES
OCCUPANCY CLASSIFICATION	GROUP A-3; M RETAIL; B BUSINESS; S-1 STORAG
FUNCTION OF SPACE (TABLE 1004.1.2)	UNCONCENTRATED ASSEMBLY (POOL DECK,
-	POOL, CLUBHOUSE)
OCCUPANT LOAD & EXITING	SEE SHEETS G.20, G.21
2. TYPE OF CONSTRUCTION	
TYPE OF CONSTRUCTION (SEC. 510.2)	TYPE V-A ABOVE 3HR HORIZONTAL ASSEMBLY
AND	AND TYPE I-A BELOW HORIZONTAL ASSEMBLY
FIRE SPRINKLER SYSTEM	NFPA-13 THROUGHOUT
3. ALLOWABLE HEIGHT AND AREA (TAB	LES 504.3, 504.4 & 506.2)
SPECIAL PROVISIONS SECTION 510.2	PODIUM BUILDING, HEIGHT AND AREA BASED ON
	SECTION 510.2
ALLOWABLE AREA TABULATION	SEE SHEET G.10
RILOWABLE STORIES: R-2 OCCOPANC TYPE V-A + SPRINKLERS TABLE 504.4	Y, 4 STORIES ABOVE HORIZONTAL ASSEMBLY
ALLOWABLE STORIES: S-2, R-2, B	1 STORY + BASEMENTS BELOW HORIZONTAL
OCCUPANCY, TYPE I-A + SPRINKLERS	ASSEMBLY
510.2	A OTODITO ADOLT HODITOLITA A DOTTATI
PROPOSED STORIES	4 STORIES ABOVE HORIZONTAL ASSEMBLY, 1 STORY BELOW HORIZONTAL ASSEMBLY AND 1
	BASEMENT LEVEL
ALLOWABLE HEIGHT TABLE 504.3	60FT ABOVE GRADE PLANE
PROPOSED HEIGHT	LESS THAN 60FT ABOVE GRADE PLANE, SEE
	SECTION ON SHEET A3.10
4. FIRE-RESISTANCE RATING OF BUILD	ING ELEMENTS (TABLE 601) - TYPE I-A
PRIMARY STRUCTURAL FRAME	3HR
EXTERIOR BEARING WALLS	3HR
NTERIOR BEARING WALLS	3HR
EXTERIOR NON-BEARING WALLS	OHR SEE SHEET G.XX
NTERIOR NON-BEARING WALLS	OHR 2HR
ROOF	N/A
FIRE WALLS	NA
HORIZONTAL SEPARATION BETWEEN TYPE IA BUILDING ABOVE	3HR
5. FIRE-RESISTANCE RATING OF BUILD PRIMARY STRUCTURAL FRAME EXTERIOR BEARING WALLS INTERIOR BEARING WALLS EXTERIOR NON-BEARING WALLS	1HR 1HR 1HR 1HR 0HR PER TABLE 602
NTERIOR NON-BEARING WALLS	OHR
FLOORS	1HR
ROOF	1HR
FIRE WALLS	2HR
HORIZONTAL SEPARATION BETWEEN TYPE IA BUILDING BELOW	3HR

5. FIRE-RESISTANCE RATING OF INTER	
	2HR
ELEVATOR AND SHAFTS	OLUM
STAIR ENCLOSURES	2HR
STAIR ENCLOSURES DWELLING UNITS DEMISING WALLS	1HR
STAIR ENCLOSURES	
STAIR ENCLOSURES DWELLING UNITS DEMISING WALLS CORRIDOR WALLS FIRE RATING BASED ON FIRE SEPARATION DISTANCE @ EXT. WALLS	1HR 1HR SEE SHEET G.XX
STAIR ENCLOSURES DWELLING UNITS DEMISING WALLS CORRIDOR WALLS FIRE RATING BASED ON FIRE SEPARATION DISTANCE @ EXT. WALLS (TABLE 602)	1HR 1HR SEE SHEET G.XX
STAIR ENCLOSURES DWELLING UNITS DEMISING WALLS CORRIDOR WALLS FIRE RATING BASED ON FIRE SEPARATION DISTANCE @ EXT. WALLS	1HR 1HR SEE SHEET G.XX
STAIR ENCLOSURES DWELLING UNITS DEMISING WALLS CORRIDOR WALLS FIRE RATING BASED ON FIRE SEPARATION DISTANCE @ EXT. WALLS (TABLE 602) EXTERIOR OPENING PROTECTION (TABLE 705.8)	1HR 1HR SEE SHEET G.XX SEE SHEET G.XX
STAIR ENCLOSURES DWELLING UNITS DEMISING WALLS CORRIDOR WALLS FIRE RATING BASED ON FIRE SEPARATION DISTANCE @ EXT. WALLS (TABLE 602) EXTERIOR OPENING PROTECTION (TABLE 705.8)	1HR 1HR SEE SHEET G.XX SEE SHEET G.XX WABLE AREA
STAIR ENCLOSURES DWELLING UNITS DEMISING WALLS CORRIDOR WALLS FIRE RATING BASED ON FIRE SEPARATION DISTANCE @ EXT. WALLS (TABLE 602) EXTERIOR OPENING PROTECTION (TABLE 705.8)	1HR 1HR SEE SHEET G.XX SEE SHEET G.XX



	Building Area In	creases - Sq. Ft.			
Fire Area	Allowable area per story (table 506.2) - (At)	Frontage increase (per CBC 506.3) - (NS x If)	Total allowable area per story - (Aa)	Total building allowable area Aa=[At+(NSxif)]xSa Sa=2 per (CBC 506.2.3)	TOTAL BUILDING AREA PROVIDED
FIRE AREA 1	36,000	2,880	36,000	77,760	72650 SF
FIRE AREA 2	36,000	0	36,000	72,000	65052 SF
FIRE AREA 3	36,000	0	36,000	72,000	62953 SF
FIRE AREA 4	36,000	0	36,000	72,000	44088 SF

TOTAL ALLOWABLE AREA PER STORY

18079 SF

FIRE AREA 1.E	BONTAGE INCE	REASE:	
Lf = [F/P - 0.25 Lf = [345 / 704 Lf = [0.24] 1 Lf = 0.24		NS x Lf	GE INCREASE: 1.24 = 2,880 S.F

FIRE AREA STORY

2ND STORY 3RD STORY

1	4TH STORY	18079 SF
1	5TH STORY	18081 SF
Group R-2		
FIRE AREA	STORY	TOTAL ALLOWABLE AREA PER STORY
2	2ND STORY	16263 SF
2	3RD STORY	16263 SF
2	4TH STORY	16263 SF
2	5TH STORY	16263 SF
	itth Accessory	**************************************
		74
	STORY 2ND STORY	Group A-3 TOTAL ALLOWABLE AREA PER STORY 15738 SF
FIRE AREA	STORY	TOTAL ALLOWABLE AREA PER STORY
FIRE AREA	STORY 2ND STORY	TOTAL ALLOWABLE AREA PER STORY 15738 SF
FIRE AREA 3 3	STORY 2ND STORY 3RD STORY	TOTAL ALLOWABLE AREA PER STORY 15738 SF 15738 SF
FIRE AREA 3 3 3	STORY 2ND STORY 3RD STORY 4TH STORY	TOTAL ALLOWABLE AREA PER STORY 15738 SF 15738 SF 15738 SF
3 3 3 3 3 3	STORY 2ND STORY 3RD STORY 4TH STORY 5TH STORY	TOTAL ALLOWABLE AREA PER STORY 15738 SF 15738 SF 15738 SF
FIRE AREA 3 3 3 3 3 Group R-2	STORY 2ND STORY 3RD STORY 4TH STORY 5TH STORY	TOTAL ALLOWABLE AREA PER STORY 15738 SF 15738 SF 15738 SF 15738 SF 15738 SF
FIRE AREA 3 3 3 3 3 Group R-2 FIRE AREA	STORY 2ND STORY 3RD STORY 4TH STORY 5TH STORY STORY	TOTAL ALLOWABLE AREA PER STORY 15738 SF 15738 SF 15738 SF 15738 SF TOTAL ALLOWABLE AREA PER STORY
FIRE AREA 3 3 3 3 3 Group R-2 FIRE AREA	STORY 2ND STORY 3RD STORY 4TH STORY 5TH STORY STORY 2ND STORY	TOTAL ALLOWABLE AREA PER STORY 15738 SF 15738 SF 15738 SF 15738 SF TOTAL ALLOWABLE AREA PER STORY 11022 SF

BICYCLE PARKING

N 465 1000 8000 N N N N N	VR ATRIA CAN
CYCLE PARKING S	PACES REQUIRED
(1) = 4.SHORT TER	BICYCLE PARKING SPACES REQUIRED
ESIDENTIAL.	
COUNT	
213	to man the finance of
4	and the same of th
MUM OF 1 TWO-BIN NUM OF 1 SPACE	E CAPACITY RACK
	CYCLE PARKING SE 1) = 4 SHORT TERM SIDENTIAL COUNT 213 4 MUM OF 1 TWO-BIK

TYPE	COUNT
RETAIL - LONG TERM	1
RETAIL - SHORT TERM	2

PARKING REQUIRED

RESIDENTIAL PARKING REQUIREMENTS per INGLEWOOD MUNICIPAL CODE SECTION 12-43 RESIDENTIAL PARKING REQUIREMENTS 2 PARKING SPACES EACH UNIT.

213 UNITS X 2 = 426 PARKING SPACES REQUIRED

RESIDENTIAL PARKING SPACES ARE ALL ASSIGNED AND ACCESSIBLE PARKING SPACES SHALL BE PROVIDED PER 2016 CBC, 1109A AND INGLEWOOD MUNICIPAL CODE SECTION 12-57.

RESIDENTIAL TOTAL = NINE (9) WITH 2 VAN-ACCESSIBLE SPACES.

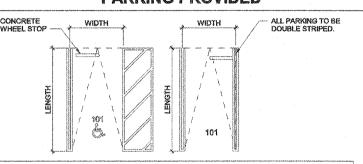
GUEST PARKING SPACES
GUEST PARKING SPACES TOTAL = 71
1 GUEST PER 3 UNITS
SHARED PARKING WITH ADJACENT RETAIL PARKING LOT.

ACCESSIBLE PARKING SIGNAGE SHALL BE PROVIDED PER 2016 CBC 1109A.8.8

REQUIRED EVSE CAPABLE DESIGNATED PARKING per 2016 GREEN CODE RESIDENTIAL 3% TOTAL = <u>13 REQ'D</u> SPACES PER **SEC 4.106.4.2** ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE): ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A

A LABEL STATING 'EV CAPABLE' SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND THE EV CHARGING SPACE.

PARKING PROVIDED



TYPE	SIZE	TOTAL
	Annual and a second of the state of the stat	1
ACCESSIBLE-STANDARD	9' x 18'	7
ACCESSIBLE-VAN	9' × 18'	2
EVSE - STANDARD	9' x 18'	8
EVSE - STANDARD 8'X18'	8' x 18'	4
S1-STANDARD 9'X18'	9' x 18'	115
STANDARD 8'X18'	8' x18'	252
STANDARD - TANDEM	9' x 18'	36
USPS 9'X18'	9' x 18'	1
TOTAL		427

TYPE	SIZE	TOTAL
BASEMENT		
ACCESSIBLE-STANDARD	9' x 18'	6
ACCESSIBLE-VAN	9' x 18'	1
S1-STANDARD 9'X18'	9' x 18'	64
STANDARD 8'X18'	8' ×18'	146
STANDARD - TANDEM	9' x 16'	27
BASEMENT: 244		244
1ST STORY		
ACCESSIBLE-STANDARD	9' x 18'	1
ACCESSIBLE-VAN	9' x 18'	1
EVSE - STANDARD	9' x 18'	9
EVSE - STANDARD 8'X18'	8' x 18'	4
S1-STANDARD 9'X18'	9' x 18'	51
STANDARD 8'X18'	8' x18'	108
STANDARD - TANDEM	9' x 18'	9
USPS 9'X18'	9' x 18'	1
1ST STORY: 183		183
TOTAL		427

GROSS BUILDING AREA

STORY	AREA
BASEMENT	91839 SF
1ST STORY	95367 SF
2ND STORY	70272 SF
3RD STORY	61531 SF
4TH STORY	63785 SF
5TH STORY	63568 SF
ROOF	1289 SF
TOTAL.	447651 SF

GROSS BUILDING AREA IS FOR GENERAL AREA IS FOR REFERENCE ONLY AND IS NOT FOR USE IN BUILDING CODE ANALYSIS. THE GROSS BUILDING AREA INCLUDES ALL EXTERIOR WALLS (INCLUDING FURRING AND DECKS) STAIRS, SHAFTS, VOID SPACES AND COVERED AREAS

APPLICABLE CODES

2017 COUNTY OF LOS ANGELES FIRE CODE (2016 CFC with ammendments) 2016 CALIFORNIA BUILDING CODE (2016 CBC) 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (2016 CALGREEN) 2016 CALIFORNIA ELECTRICAL CODE (2016 CEC) 2016 CALIFORNIA MECHANICAL CODE (2016 CMC)

2016 CALIFORNIA PLUMBING CODE (2016 CFC)
2016 CALIFORNIA ENERGY CODE (2016 CEC)
2016 NFPA 13 STANDARD FOR THE INSTALLATION OF FIRE SPRINKLERS
AUTHORITY HAVING JURISDICTION: CITY OF INGLEWOOD, CA.
and COUNTY OF LOS ANGELES FIRE DEPARTMENT 2016 CALIFORNIA PLUMBING CODE (2016 CPC)

PROJECT DESCRIPTION

PROJECT DESCRIPTION
THIS IS A 5-STORY APARTMENT BUILDING WITH 4 STORIES OF TYPE V-A CONSTRUCTION OVER 1STORY OF TYPE IA PODIIM ABOVE 1-STORY OF SUBTERRANEAN PARKING STRUCTURE. THERE
ARE 213 DWELLING UNITS WITH 426 PARKING STALLS AND RECREATION/AMENITY SPACE. THERE IS A COURTYARD ON THE 2ND STORY, WITH POOL, SPA, FITNESS AND OTHER AMENITIES FOR THE BUILDING RESIDENTS, GREATROOM ON THE 2ND STORY FOR USE BY THE BUILDING RESIDENTS, THE BUILDING HAS (I) ROOF DECK LOCATED ON THE ROOF, THE PROJECT IS AN ELEVATOR BUILDING AND ALL UNITS ARE COVERED MULTIFAMILY UNITS.

NOTE: THIS PROJECT IS 100% PRIVATELY FUNDED. NO TAX CREDITS. NOT PUBLIC HOUSING.

ZONING CODE ANALYSIS

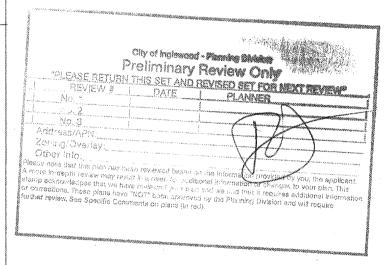
PROJECT ADDRESS:	HOLLYWOOD PARK, INGLEWOOD, CA 90301
APN:	4025-011-44 & 4025-011-46
HOLLYWOOD PARK SPI	ECIFIC PLAN

PUBLIC STREET: 30'-0"; INTERIOR SIDE & REAR: 0'-0"; SEPARATION FROM SINGLE FAMILY: 25'-0"; SETBACKS:

 $75\text{-}6^\circ$ and no more than 6 stories from grade, measured at front of building

LEGAL DESCRIPTION

PARCEL MAP NO. 72263 LOT NO. "B"



OPEN SPACE SUMMARY

REQUIRED OPEN SPACE per THE HOLLYWOOD PARK SPECIFIC PLAN SHALL PROVIDE A MINIMUM OF ONE-HUNDRED (100) SQUARE FEET OF OPEN SPACE PER UNIT.

213 UNITS X 100 = 21,300 SF OF OPEN SPACE REQUIRED

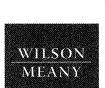
COMMON OPEN SPACE
SHALL MEAN A COURT, LANDSCAPE, RECREATION BUILDING/FACILITY OR OTHER OUTDOOR AREA
WHICH IS USED FOR LANDSCAPE AND/OR RECREATION AND THAT HAS COMMON ACCESS FROM
MORE THAN ONE (1) DWELLING UNIT. IN ORDER TO COUNT TOWARD REQUIRED OPEN SPACE
REQUIREMENTS, THE COMMON OPEN SPACE SHALL HAVE A MINIMUM AREA OF FIFTY (50) SQUARE
FEET AND A MINIMUM HORIZONTAL DIMENSION OF FIVE (5) FEET. COMMON OPEN SPACE MAY ALSO
INCLUDE THE WATER AREA OF A POOL AND COMMON RECREATION FACILITIES OR GARDENS
LOCATED ON TOP OF A BUILDING OR PARKING STRUCTURE.

PRIVATE OPEN SPACE
SHALL MEAN ANY PRIVATE BALCONY, PORCH, DECK, PATIO, COURT, GROUND LEVEL YARD OR ROOF
DECK THAT IS ACCESSIBLE FROM ONLY ONE (1) UNIT. ALL PRIVATE OPEN SPACE IS TYPICALLY
ENCLOSED WITH SOME TYPE OF FENCING. IN ORDER TO COUNT TOWARD REQUIRED OPEN SPACE
REQUIREMENTS, THE PRIVATE OPEN SPACE SHALL HAVE A MINIMUM AREA OF TWENTY (20) SQUARE
EFET AND A MINIMUM IM HORIZONTAL DIMENSION OF FOUR (4) FEET.

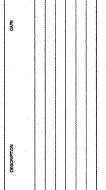
FEET AND A MINIMUM HORIZONTAL DIMENSION OF FOUR	(4) FEET.
PROVIDED COMMON C	PEN SPACE
SPACE	AREA
CLUBHOUSE	1035 SF
FITNESS	1495 SF
ROOF DECK	530 SF
SCREENING ROOM	516 SF
COURTYARD A	2635 SF
COURTYARD B	1798 SF
COURTYARD CIRCULATION	1398 SF
PLANTER	10802 SF
POOL COURTYARD	3432 SF
POOL	905 SF
SPA	110 SF
2ND STORY	24657 SF
ROOF DECK	1289 SF
ROOF	1289 SF
TOTAL	25946 SF
PROVIDED PRIVATE O	PEN SPACE
SPACE	AREA
UNIT DECK	25648 SF
TOTAL	25648 SF
TOTAL PROVIDED OPEN SPACE (COMMON + PROVIDED)
SPACE	AREA
	51594 SF
TOTAL	51594 SF

NOTE: PROJECT COMMON OPEN SPACE MEETS OR EXCEEDS REQUIRED OPEN SPACE, PRIVATE OPEN SPACE (UNIT DECKS) IS PROVIDED FOR REFERENCE ONLY

ARCHITECTS OS ANGELES | ROVINE | CARLA







HOLLYWOOD PARK RESIDENTIAL FORNIA RETAIL STORS, INGLEWOOD, CALIFO HOLLYWOOD PARK F COMMERCIAL INVES

S, PARKING SUMMARY, IXTURE COUNTS CONSTRUCTION

N P

G.10

2017-083-02 JOB NAMEER As indicated
SCALE
PLOT PLAN
RESUBMITTAL
SISUED AS 06/21/2018 ISBUE DATE