

COMMERCIAL

Table with 2 columns: SPACE, AREA. Rows include RETAIL, Grand total.

AMENITY AREAS

Table with 2 columns: SPACE, AREA. Rows include LEASING / LOBBY AREAS, Grand total.

Table with 2 columns: SPACE, AREA. Rows include CLUBHOUSE, FITNESS, ROOF DECK, SCREENING ROOM, Grand total.

UNIT AREA & COUNT

Table with 4 columns: UNIT CATEGORY, AVERAGE S.F., UNIT COUNT, % UNIT MIX. Rows include STUDIO, ONE BEDROOM, TWO BEDROOM, THREE BEDROOM, TOTAL UNITS.

Table with 5 columns: UNIT TYPE, UNIT COUNT, AVG. AREA, UNIT DECK, ASSIGNED STORAGE, TOTAL. Rows include S1, S2, S3, A1, A2, A3, A4, A5, B1, GARDEN - TI, C2, C2.1, C3, C5, TOTAL.

Table with 2 columns: UNIT COUNT, AREA. Rows include TOTAL NET RENTABLE.

Table with 3 columns: LEVEL, UNIT COUNT, AREA. Rows include 1ST STORY, 2ND STORY, 3RD STORY, 4TH STORY, 5TH STORY, TOTAL.

Table with 2 columns: LEVEL, AREA. Rows include BASEMENT, 1ST STORY, 2ND STORY, 3RD STORY, 4TH STORY, 5TH STORY, ROOF, TOTAL.

EFFICIENCY: 75.50 %

UNIT STORAGE

Table with 4 columns: TENANT STORAGE (ASSIGNED), STORAGE, AREA. Rows include S1-1, S1-2, S1-3, S1-4, S1-5, S1-6, S1-7, S1-8, S1-9, S1-10, S1-11, S1-12, S1-13, S1-14, BASEMENT, GRAND TOTAL.

NOTE: STORAGE ABOVE IS IN ADDITION TO A MINIMUM OF TWO (2) CUBIC FEET OF STORAGE THAT IS REQUIRED FOR ALL UNITS PER HOLLYWOOD PARK SPECIFIC PLAN. SEE UNIT PLANS FOR LOCATION OF REQUIRED STORAGE.

GROSS LEASABLE AREA (GLA)

THE TOTAL ENCLOSED FLOOR AREA DESIGNED FOR THE EXCLUSIVE USE OF AN OCCUPANT, INCLUDING ANY BASEMENTS, MEZZANINES, OR UPPER FLOORS, FOR EACH OCCUPANT, IT IS GENERALLY MEASURED FROM THE CENTERLINE OF PARTITIONS THAT SEPARATE ADJACENT OCCUPANTS, FROM THE MEASURE LINE ON THE EXTERIOR SURFACE OF EXTERIOR ENCLOSURES, FROM THE LEASE LINE AT COMMON AREAS, AND INCLUDES THE FULL THICKNESS OF ALL OTHER ENCLOSING WALLS. NO DEDUCTIONS IS MADE FOR COLUMNS, ANY STRUCTURAL ELEMENTS OR OCCUPANT VOIDS ARE WITHIN GLA. BOMA 2010

PLUMBING FIXTURE COUNTS

Table with 5 columns: NAME, WATER SURFACE AREA, OCCUPANT LOAD FACTOR, NUMBER OF BATHERS. Rows include POOL, SPA, TOTAL.

Table with 4 columns: NUMBER OF BATHERS, SHOWER (1 PER 50), DRINKING FOUNTAIN (1/250). Rows include TOTAL.

Table with 5 columns: NAME, AREA, OCC. GROUP, OCC. LOAD FACTOR, P. OCC. LOAD. Rows include CLUBHOUSE.

Table with 6 columns: NUMBER OF USERS, DRINKING FOUNTAIN (1 PER 250), SERVICE SINK, WATER CLOSET - WOMEN (1 PER 25), WATER CLOSET - MEN (1 PER 50), LAVATORY - WOMEN (1 PER 150), LAVATORY - MEN (1 PER 150). Rows include TOTAL.

BUILDING CODE - PROJECT DATA

MU-10 BUILDING CODE ANALYSIS

1. OCCUPANCY CLASSIFICATION, OCCUPANT LOAD & EXITING REQUIREMENTS. OCCUPANCY CLASSIFICATION: GROUP R-2. FUNCTION OF SPACE (TABLE 1004.1.2): RESIDENTIAL.

2. TYPE OF CONSTRUCTION. TYPE OF CONSTRUCTION (SEC. 510.2): TYPE V-A ABOVE 3HR HORIZONTAL ASSEMBLY AND TYPE I-A BELOW HORIZONTAL ASSEMBLY.

3. ALLOWABLE HEIGHT AND AREA (TABLES 504.3, 504.4 & 506.2). SPECIAL PROVISIONS SECTION 510.2: PODIUM BUILDING, HEIGHT AND AREA BASED ON SECTION 510.2.

4. FIRE-RESISTANCE RATING OF BUILDING ELEMENTS (TABLE 601) - TYPE I-A. PRIMARY STRUCTURAL FRAME: 3HR. EXTERIOR BEARING WALLS: 3HR.

5. FIRE-RESISTANCE RATING OF BUILDING ELEMENTS (TABLE 601) - TYPE V-A. PRIMARY STRUCTURAL FRAME: 1HR. EXTERIOR BEARING WALLS: 1HR.

6. FIRE-RESISTANCE RATING OF INTERIOR ELEMENTS. ELEVATOR AND SHAFTS: 2HR. STAIR ENCLOSURES: 2HR.

NOTES: S = STUDIO, A = ONE BEDROOM, B = TWO BEDROOM, C = THREE BEDROOM, GARDEN = TWO BEDROOM.

7. FIRE-RESISTANCE RATING OF INTERIOR ELEMENTS. ELEVATOR AND SHAFTS: 2HR. STAIR ENCLOSURES: 2HR.

8. FIRE-RESISTANCE RATING OF INTERIOR ELEMENTS. ELEVATOR AND SHAFTS: 2HR. STAIR ENCLOSURES: 2HR.

9. FIRE-RESISTANCE RATING OF INTERIOR ELEMENTS. ELEVATOR AND SHAFTS: 2HR. STAIR ENCLOSURES: 2HR.

ALLOWABLE AREA

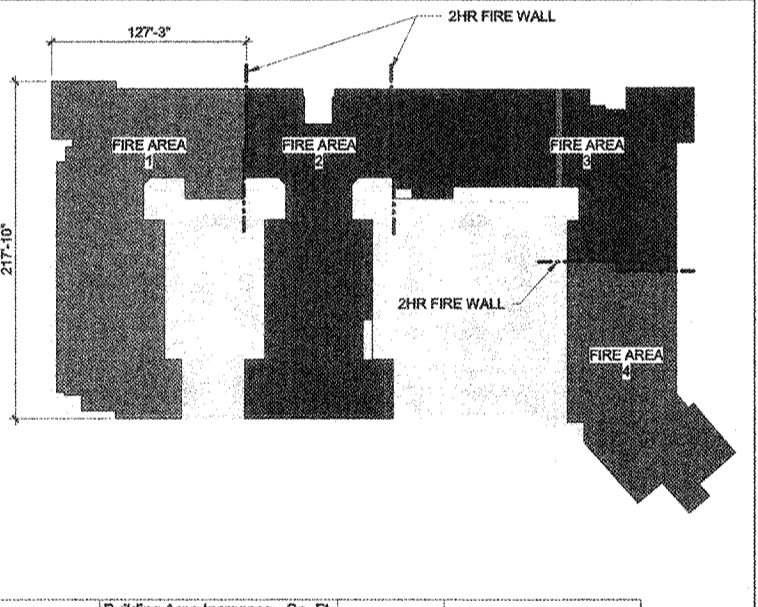


Table with 5 columns: Building Area Increases - Sq. Ft., Allowable area per story (table 506.2) - (A), Frontage increase (per CBC 506.3) - (Ns x Lf), Total allowable area per story - (Aa), Total building allowable area Aa = (Aa) x (Ns) x (Lf), TOTAL BUILDING AREA PROVIDED. Rows include FIRE AREA 1, FIRE AREA 2, FIRE AREA 3, FIRE AREA 4.

FRONTAGE INCREASE: Lf = (FIP - 0.25) W/30, Lf = (345 / 704 - 0.25) 30/30, Lf = 0.2411, Lf = 0.24.

Table with 4 columns: FIRE AREA, STORY, TOTAL ALLOWABLE AREA PER STORY. Rows include Group R-2, FIRE AREA 1, FIRE AREA 2, FIRE AREA 3.

Table with 4 columns: FIRE AREA, STORY, TOTAL ALLOWABLE AREA PER STORY. Rows include Group R-2, FIRE AREA 1, FIRE AREA 2, FIRE AREA 3.

Table with 4 columns: FIRE AREA, STORY, TOTAL ALLOWABLE AREA PER STORY. Rows include Group R-2 with Accessory Group A-3, FIRE AREA 1, FIRE AREA 2, FIRE AREA 3.

Table with 4 columns: FIRE AREA, STORY, TOTAL ALLOWABLE AREA PER STORY. Rows include Group R-2, FIRE AREA 1, FIRE AREA 2, FIRE AREA 3.

BICYCLE PARKING

BICYCLE PARKING REQUIREMENT. 213 UNITS X 1 = 213 LONG TERM BICYCLE PARKING SPACES REQUIRED. 5% OF GUEST PARKING SPACES (71) = 4 SHORT TERM BICYCLE PARKING SPACES REQUIRED.

Table with 2 columns: PROVIDED PARKING - RESIDENTIAL, TYPE, COUNT. Rows include RESIDENTIAL - LONG TERM, RESIDENTIAL - SHORT TERM.

Table with 2 columns: PROVIDED PARKING - COMMERCIAL, TYPE, COUNT. Rows include RETAIL - LONG TERM, RETAIL - SHORT TERM.

PARKING REQUIRED

RESIDENTIAL PARKING REQUIREMENTS per INGLEWOOD MUNICIPAL CODE SECTION 12-43. RESIDENTIAL PARKING REQUIREMENTS 2 PARKING SPACES EACH UNIT. 213 UNITS X 2 = 426 PARKING SPACES REQUIRED.

RESIDENTIAL PARKING SPACES ARE ALL ASSIGNED AND ACCESSIBLE PARKING SPACES SHALL BE PROVIDED PER 2016 CBC, 1109A AND INGLEWOOD MUNICIPAL CODE SECTION 12-57.

RESIDENTIAL TOTAL = NINE (9) WITH 2 VAN-ACCESSIBLE SPACES. GUEST PARKING SPACES: GUEST PARKING SPACES TOTAL = 71. 1 GUEST PER 3 UNITS. SHARED PARKING WITH ADJACENT RETAIL PARKING LOT.

ACCESSIBLE PARKING SIGNAGE SHALL BE PROVIDED PER 2016 CBC 1109A.8.8. REQUIRED EVSE CAPABLE DESIGNATED PARKING per 2016 GREEN CODE. RESIDENTIAL 3% TOTAL = 13 REQ'D SPACES PER SEC 4.106.4.2.

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE): ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

A LABEL STATING 'EV CAPABLE' SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND THE EV CHARGING SPACE.

PARKING PROVIDED

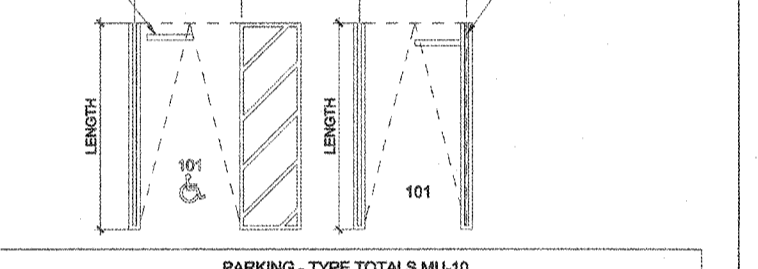


Table with 3 columns: TYPE, SIZE, TOTAL. Rows include ACCESSIBLE-STANDARD, ACCESSIBLE-VAN, EVSE - STANDARD, EVSE - STANDARD 8'X18', S1-STANDARD 9'X18', STANDARD 8'X18', STANDARD - TANDEM, USPS 9'X18', TOTAL.

Table with 3 columns: TYPE, SIZE, TOTAL. Rows include BASEMENT, ACCESSIBLE-STANDARD, ACCESSIBLE-VAN, S1-STANDARD 9'X18', STANDARD 8'X18', STANDARD - TANDEM, USPS 9'X18', TOTAL.

Table with 3 columns: TYPE, SIZE, TOTAL. Rows include 1ST STORY, ACCESSIBLE-STANDARD, ACCESSIBLE-VAN, EVSE - STANDARD, EVSE - STANDARD 8'X18', S1-STANDARD 9'X18', STANDARD 8'X18', STANDARD - TANDEM, USPS 9'X18', TOTAL.

GROSS BUILDING AREA

Table with 2 columns: STORY, AREA. Rows include BASEMENT, 1ST STORY, 2ND STORY, 3RD STORY, 4TH STORY, 5TH STORY, ROOF, TOTAL.

GROSS BUILDING AREA IS FOR GENERAL AREA IS FOR REFERENCE ONLY AND IS NOT FOR USE IN BUILDING CODE ANALYSIS. THE GROSS BUILDING AREA INCLUDES ALL EXTERIOR WALLS (INCLUDING FURRING AND DECKS) STAIRS, SHAFTS, VOID SPACES AND COVERED AREAS.

APPLICABLE CODES

2017 COUNTY OF LOS ANGELES FIRE CODE (2016 CFC with amendments), 2016 CALIFORNIA BUILDING CODE (2016 CBC), 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (2016 CALGREEN), 2016 CALIFORNIA ELECTRICAL CODE (2016 CEC), 2016 CALIFORNIA MECHANICAL CODE (2016 CMCC), 2016 CALIFORNIA PLUMBING CODE (2016 CPC), 2016 CALIFORNIA ENERGY CODE (2016 CEC), 2016 NFPA 13 STANDARD FOR THE INSTALLATION OF FIRE SPRINKLERS AUTHORITY HAVING JURISDICTION: CITY OF INGLEWOOD, CA and COUNTY OF LOS ANGELES FIRE DEPARTMENT.

PROJECT DESCRIPTION

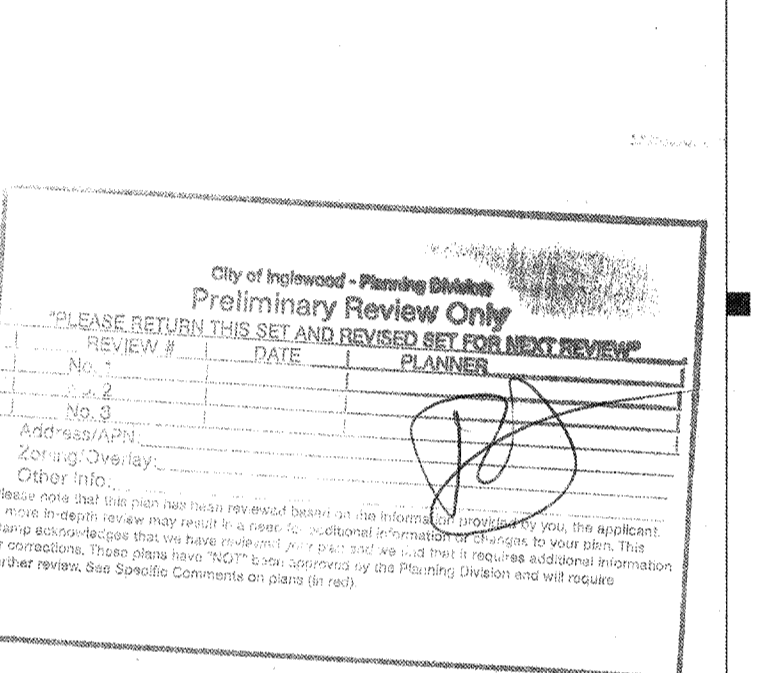
PROJECT DESCRIPTION: THIS IS A 5-STORY APARTMENT BUILDING WITH 4 STORIES OF TYPE V-A CONSTRUCTION OVER 1-STORY OF TYPE IA PODIUM ABOVE 1-STORY OF SUBTERRANEAN PARKING STRUCTURE. THERE ARE 213 DWELLING UNITS WITH 426 PARKING SPACES AND RECREATION/AMENITY SPACE. THERE IS A COURTYARD ON THE 2ND STORY, WITH POOL, SPA, FITNESS AND OTHER AMENITIES FOR THE BUILDING RESIDENTS. GREATROOM ON THE 2ND STORY FOR USE BY THE BUILDING RESIDENTS. THE BUILDING HAS (1) ROOF DECK LOCATED ON THE ROOF. THE PROJECT IS AN ELEVATOR BUILDING AND ALL UNITS ARE COVERED MULTIFAMILY UNITS. NOTE: THIS PROJECT IS 100% PRIVATELY FUNDED. NO TAX CREDITS. NOT PUBLIC HOUSING.

ZONING CODE ANALYSIS

PROJECT ADDRESS: HOLLYWOOD PARK, INGLEWOOD, CA 90801. APN: 4025-011-44 & 4025-011-46. HOLLYWOOD PARK SPECIFIC PLAN. ZONE: RESIDENTIAL. SETBACKS: PUBLIC STREET: 30'-0"; INTERIOR SIDE & REAR: 0'-0"; SEPARATION FROM SINGLE FAMILY: 25'-0". HEIGHT: 75'-0" AND NO MORE THAN 6 STORIES FROM GRADE, MEASURED AT FRONT OF BUILDING.

LEGAL DESCRIPTION

PARCEL MAP NO. 72263 LOT NO. "B".



OPEN SPACE SUMMARY

REQUIRED OPEN SPACE per THE HOLLYWOOD PARK SPECIFIC PLAN. SHALL PROVIDE A MINIMUM OF ONE HUNDRED (100) SQUARE FEET OF OPEN SPACE PER UNIT. 213 UNITS X 100 = 21,300 SF OF OPEN SPACE REQUIRED.

COMMON OPEN SPACE SHALL MEAN A COURT, LANDSCAPE, RECREATION BUILDING/FACILITY OR OTHER OUTDOOR AREA WHICH IS USED FOR LANDSCAPE AND/OR RECREATION AND THAT HAS COMMON ACCESS FROM MORE THAN ONE (1) DWELLING UNIT. IN ORDER TO COUNT TOWARD REQUIRED OPEN SPACE REQUIREMENTS, THE COMMON OPEN SPACE SHALL HAVE A MINIMUM AREA OF FIFTY (50) SQUARE FEET AND A MINIMUM HORIZONTAL DIMENSION OF FIVE (5) FEET. COMMON OPEN SPACE MAY ALSO INCLUDE THE WATER AREA OF A POOL AND COMMON RECREATION FACILITIES OR GARDENS LOCATED ON TOP OF A BUILDING OR PARKING STRUCTURE.

PRIVATE OPEN SPACE SHALL MEAN ANY PRIVATE BALCONY, PORCH, DECK, PATIO, COURT, GROUND LEVEL YARD OR ROOF DECK THAT IS ACCESSIBLE FROM ONLY ONE (1) UNIT. ALL PRIVATE OPEN SPACE IS TYPICALLY ENCLOSED WITH SOME TYPE OF FENCING. IN ORDER TO COUNT TOWARD REQUIRED OPEN SPACE REQUIREMENTS, THE PRIVATE OPEN SPACE SHALL HAVE A MINIMUM AREA OF TWENTY (20) SQUARE FEET AND A MINIMUM HORIZONTAL DIMENSION OF FOUR (4) FEET.

Table with 2 columns: SPACE, AREA. Rows include CLUBHOUSE, FITNESS, ROOF DECK, SCREENING ROOM, COURTYARD A, COURTYARD B, COURTYARD CIRCULATION, PLANTER, POOL COURTYARD, POOL, SPA, 2ND STORY, ROOF DECK, TOTAL.

Table with 2 columns: SPACE, AREA. Rows include PROVIDED PRIVATE OPEN SPACE, UNIT DECK, TOTAL.

Table with 2 columns: SPACE, AREA. Rows include TOTAL PROVIDED OPEN SPACE (COMMON + PROVIDED), TOTAL.

NOTE: PROJECT COMMON OPEN SPACE MEETS OR EXCEEDS REQUIRED OPEN SPACE. PRIVATE OPEN SPACE (UNIT DECKS) IS PROVIDED FOR REFERENCE ONLY.

Vertical sidebar containing logos for TCA ARCHITECTS, WILSON MEANY, and project information: HOLLYWOOD PARK RESIDENTIAL - MU-10, INGLEWOOD, CALIFORNIA, HOLLYWOOD PARK RETAIL AND COMMERCIAL INVESTORS, LLC. NOT FOR CONSTRUCTION.

Stamp: THIS SET OF CONSTRUCTION DOCUMENTS HAS BEEN PREPARED FOR THE CONSTRUCTION OF AN AGREEMENT PROJECT. G.10. 2017-083-02. DATE: 06/21/2018. DRAWN BY: [Signature]