

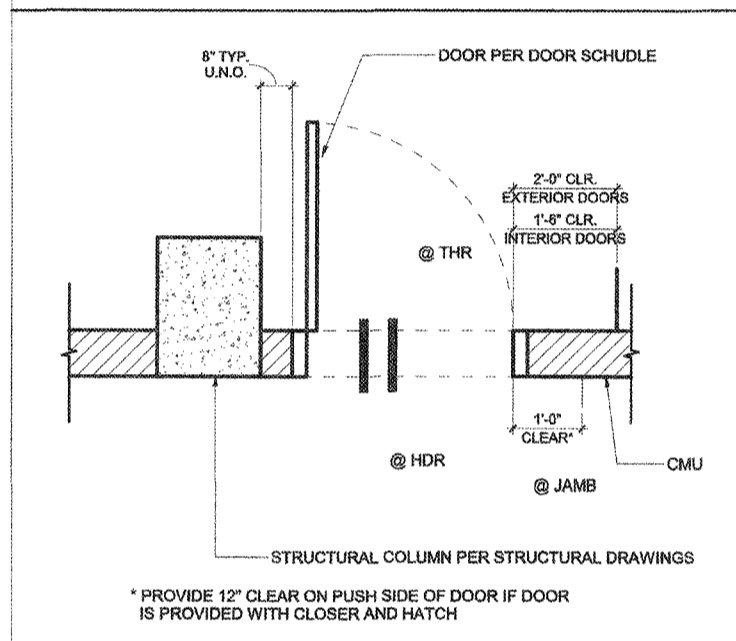
WALL ASSEMBLY LEGEND

WALL ASSEMBLY LEGEND TYPE I CONSTRUCTION	OPENINGS
3HR. STRUCTURAL FRAME BEARING CAST IN PLACE CONCRETE	N/A
2HR. FIRE BARRIER NON-BEARING CMU	90 MIN.
2HR. FIRE BARRIER NON-BEARING METAL STUDS	90 MIN.
1HR. FIRE PARTITION NON-BEARING CMU	20 MIN.
1HR. FIRE PARTITION NON-BEARING METAL STUD @ CORRIDOR	20 MIN.
NON-RATED NON-BEARING METAL STUD UNIT TO UNIT	N/A
NON-RATED NON-BEARING CMU	N.R.
NON-RATED NON-BEARING METAL STUD	N.R.

NOTE: ALL CMU 8" NOMINAL. SEE EXTERIOR ELEVATIONS & WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION

WALL ASSEMBLY LEGEND TYPE V-A CONSTRUCTION	OPENINGS
2HR. FIRE WALL FIRE WALL TO UNIT FIRE WALL TO CORRIDOR FIRE WALL TO NON-UNIT FIRE WALL TO PLUMB WALL EXTERIOR FIRE WALL TO SHAFT FIRE WALL TO SKY DECK	180 MIN.
2HR. FIRE BARRIER SHAFT TO CORRIDOR SHAFT TO UNIT SHAFT TO NON-UNIT	90 MIN.
2HR. EXTERIOR BEARING WALL STUCCO FINISH RAIN SCREEN FINISH	N/A
1HR. FIRE PARTITION CORRIDOR TO UNIT CORRIDOR TO NON-UNIT UNIT TO UNIT	20 MIN. 45 MIN. 45 MIN.
UNIT INTERIOR WALLS BEARING (1-HR) NON-BEARING	N.R.

TYPICAL DOOR DETAILS AT CMU / CONCRETE



CEILING PLAN NOTES

- REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE, SPRINKLERS, STRUCTURAL, AND INTERIOR DRAWINGS FOR LAYOUTS AND ADDITIONAL INFORMATION FOR LOCATION LIGHT FIXTURES, HVAC REGISTERS, AND FIRE SPRINKLER LINES.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD, OR CENTERLINE OF COLUMN.
- INTERIOR FINISHES SHALL COMPLY WITH CBC CHAPTER 8 FOR FLAME SPREAD PROVISIONS.
- PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS AS REQUIRED FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEMS. IN FIRE-RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF-CLOSING DEVICES.
- ALL VENT AND CLEANOUT LOCATIONS TO BE APPROVED BY OWNER.
- LIGHTS TO BE CENTERED IN CEILING AREAS WITHIN ROOMS OR SPACES, UNLESS NOTED OTHERWISE.
- EXTEND SOFFITS 2" BEYOND FACE OF CABINETS, TYPICAL.
- BUILDING WILL BE FIRE SPRINKLERED THROUGHOUT.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.

CEILING PLAN LEGEND

- ALL FIXTURES SPECIFIED BY OWNER.
- CEILING FAN
 - SURFACE MOUNTED LIGHT FIXTURE
 - HANGING LIGHT FIXTURE
 - RECESSED CEILING FIXTURE
 - WALL MOUNTED FIXTURE CENTERED ABOVE LAVATORY CABINET
 - WALL MOUNTED SUPPLY AIR GRILLE
 - WALL MOUNTED RETURN AIR GRILLE
 - UNDER-CABINET LIGHT FIXTURES
 - TRACKED LIGHTING
 - JUNCTION BOX
 - RETURN AIR
 - SUPPLY AIR
 - EXHAUST AIR
 - COMBINATION CO & SMOKE DETECTOR, HARDWARE W/ BATTERY BACKUP. INSTALL ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 - SMOKE DETECTOR, HARDWARE W/ BATTERY BACKUP. INSTALL ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 - FAN COIL UNIT
 - DROP CEILING: 8'-0" ABOVE FINISHED FLOOR OR STRUCTURAL SLAB, U.N.O.
 - DROP CEILING: 7'-8" ABOVE FINISHED FLOOR OR STRUCTURAL SLAB, U.N.O.
 - CEILING APPLIED TO UNDERSIDE OF FRAMING ABOVE PER FLOOR FRAMING ASSEMBLY OR EXPOSED CONCRETE AT UNDERSIDE OF PODIUM.

ROOF PLAN NOTES

- REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD, OR CENTERLINE OF COLUMN.
- REFER TO ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- MAJOR ROOF SLOPES ARE 3/8" PER FOOT TO PROVIDE MINIMUM 1/4" PER FOOT SLOPE ALONG DRAINAGE FLOW LINES.
- ROOF SPOT ELEVATIONS ARE TO TOP OF ROOF SHEATHING, UNLESS NOTED OTHERWISE.
- ROOF ELEVATION DATUM SET AT 0.00' AT 4TH FLOOR TOP PLATE.
- REFER TO STRUCTURAL DRAWINGS FOR:
 - A. SIZE AND LOCATION OF FRAMING AND SHEATHING.
 - B. SPECIAL NAILING AND BLOCKING REQUIREMENTS.
- ROOFING TO BE MINIMUM CLASS "A" 1-HOUR FIRE-RATED ASSEMBLY.
- POWER TOOLS USED TO CUT THE REQUIRED OPENINGS IN THE ROOF SHEATHING SHALL BE CAREFULLY SET TO THE APPROPRIATE DEPTH TO AVOID CUTTING INTO ANY STRUCTURAL MEMBERS OF THE ROOF ASSEMBLY.
- PRIME ALL GALVANIZED SURFACE AREAS THAT ARE TO BE PAINTED. ALL EXPOSED ROOF FLASHINGS AND PLUMBING VENTS SHALL BE PAINTED TO MATCH ADJACENT SURFACE.
- PROVIDE SPLASH BLOCK AT ALL DOWNSPOUT LOCATIONS. PROVIDE SPLASH BLOCK OR GRAVE BED WITHIN LANDSCAPE AREAS. REFER TO LANDSCAPE DRAWINGS.
- PER CALIFORNIA PLUMBING CODE, ROOF VENTS SHALL NOT BE PLACED WITHIN 10'-0" FROM, OR LESS THAN 3'-0" ABOVE, AIR INTAKES OR VENT SHAFTS.
- GUARDS SHALL BE PROVIDED WHERE MECHANICAL EQUIPMENT IS LOCATED WITHIN 10'-0" FROM THE ROOF EDGE OR OPEN SIDE OF A WALKING SURFACE, AND SUCH EDGE OR OPEN SIDE IS MORE THAN 30" ABOVE ROOF, FLOOR, OR GRADE BELOW. THE GUARD SHALL BE CONSTRUCTED TO PREVENT THE PASSAGE OF A 21" DIAMETER SPHERE.
- FAÇADE ACCESS PLAN (FAP) SHALL BE PROVIDED BY OWNER TO COMPLY WITH OSHA REGULATIONS. THE OWNER SHALL COORDINATE AND NOTIFY THE PROJECT TEAM IF FAÇADE ACCESS REQUIREMENTS NEED TO BE SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- ANY CONTRACTOR INSTALLING FUTURE EQUIPMENT ON ROOF, INCLUDING SOLAR PANELS, RETAIL EQUIPMENT, SATELLITE DISH, ETC. SHALL RETAIN STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ACoustICAL, AND WATERPROOFING CONSULTANT SERVICES AND OBTAIN APPROVAL FROM BUILDING OWNER AND LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.

ROOF PLAN LEGEND

- ROOF DRAIN & OVERFLOW DRAIN SEE DETAIL 22/AD2.2
- FAÇADE ACCESS THE BACK SEE FAÇADE ACCESS FOR DETAILS AND DIMENSIONS, & STRUCTURAL DRAWINGS
- DOWN SPOUT SPLASH BLOCK
- WALKING PADS
- CONDENSING UNIT SEE MECHANICAL DRAWINGS

SLAB PLAN NOTES

- REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXTENT OF THE STRUCTURAL SLAB WITH HORIZONTAL AND VERTICAL CONTROLS. REFER TO FLOOR PLANS FOR TOPPING SLABS.
- REFER TO CIVIL DRAWINGS FOR BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD, OR CENTERLINE OF COLUMN.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL SLAB REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING EXACT TOP OF STRUCTURAL SLAB ELEVATION BASED ON CIVIL DRAWINGS.
- CONTRACTOR SHALL HAVE ALL SLABS, DEPRESSIONS, AND SLOPES VERIFIED AND CERTIFIED BY A LICENSED SURVEYOR PRIOR TO THE PLACEMENT OF ANY STRUCTURAL CONCRETE.
- FINISHED AND SUB-SURFACE CONCRETE/PAVING THAT IS EXPOSED TO WEATHER IS TO SLOPE TO DRAIN AWAY FROM PERIMETER WALLS OF BUILDING UNLESS NOTED OTHERWISE.
- ALL FLAT STRUCTURAL SLABS TO RECEIVE TOPPING SLAB AND SLOPE TO DRAIN PER CIVIL DRAWINGS.
- SLOPE AT PARKING STALLS TO BE 5% MAXIMUM IN ANY DIRECTION.
- SLOPE AT ACCESSIBLE ROUTE AND ACCESSIBLE PARKING SHALL NOT EXCEED 2% MAXIMUM IN ANY DIRECTION.
- EQUIPMENT CONCRETE PAD LOCATIONS AND SIZES TO BE COORDINATED WITH GENERAL CONTRACTOR, SUB-CONTRACTOR, AND LOCAL UTILITY COMPANY.
- REFER TO CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION ON PENETRATION SIZES AND LOCATIONS.
- IT IS CONTRACTOR'S RESPONSIBILITY TO ESTABLISH EXACT LOCATIONS OF CURBS, BLOCK-OUTS, AND GENERAL SLAB CONFIGURATION.
- CONTRACTOR TO VERIFY LOCATION AND SIZE OF ALL WALLS AND SLAB OPENINGS, PENETRATIONS, AND EMBEDMENTS, AS WELL AS COORDINATE WITH EQUIPMENT SPECIFICATIONS WHERE NECESSARY.
- CONTRACTOR IS TO CONFIRM WITH ALL TRADES THAT ALL WORK, INCLUDING PLACEMENT OF HARDWARE, SLEEVES, UTILITIES, ETC. INTO OR THROUGH STRUCTURAL CONCRETE DECK, IS COMPLETE PRIOR TO POURING CONCRETE.
- TOP OF CURB ELEVATIONS ARE TO ALIGN WITH FINISH SLAB ELEVATION, UNLESS NOTED OTHERWISE.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ENTRY PORCHES, STOOPS, WALKS, DRIVEWAYS, SITE WALLS, SLOPES AND ELEVATIONS, ETC. NOT SHOWN HERE.
- REFER TO SLAB VARIATION PLANS FOR SLAB ELEVATION AND STEM WALL HEIGHT VARIATIONS PER BUILDING.
- THE SLAB VARIATION PLANS SHOW RELATIVE HEIGHTS OF TOP OF SLABS AT LIVING UNITS. REFER TO CIVIL DRAWINGS FOR ACCESSIBLE ROUTES FROM UNIT ENTRY DOOR TO GARAGE DOOR. REFER TO CIVIL AND POST-TENSION DESIGN FOR CONCRETE STEPS TO UNITS, IF PROVIDED.
- NOT ALL DIRECT ACCESS DOORS FROM GARAGE TO LIVING UNITS ARE ACCESSIBLE ROUTES. REFER TO CIVIL PLANS FOR ACCESSIBLE ROUTES FROM UNIT ENTRY DOOR TO GARAGE DOOR. REFER TO CIVIL AND POST-TENSION DESIGN FOR CONCRETE STEPS TO UNITS, IF PROVIDED.
- PROVIDE MOISTURE BARRIER UNDER ALL SLAB-ON-GRADE IN SENSITIVE AREAS: STORAGE ROOMS, AREAS WITH FINISH MATERIALS, ETC.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- BATHUB BLOCK-OUT, REFER TO DETAIL 22/AD2.8 WHERE TUB BLOCK-OUT ARE LOCATED WITHIN THE COLUMN CAPITALS, REFER TO STRUCTURAL FOR DETAILING.
- COORDINATE PLUMBING PENETRATIONS AT COLUMN CAPITALS WITH PLUMBING AND STRUCTURAL DRAWINGS

SLAB PLAN LEGEND

- 6" DEPRESSED STRUCTURAL SLAB. (SEE PLAN FOR ADDITIONAL SLOPING TO DRAIN)
- 2" DEPRESSED STRUCTURAL SLAB.
- BUILT UP CONCRETE SLAB OVER STRUCTURAL SLAB. SEE STRUCTURAL DRAWINGS
- BUILT UP CONCRETE SLAB - SLOPED SURFACES AND LANDING. OVER STRUCTURAL SLAB. SEE STRUCTURAL DRAWINGS

FLOOR PLAN NOTES

- REFER TO SHEET G.30 FOR APPLICABLE GENERAL NOTES.
- REFER TO COVER SHEET FOR SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET G.10 FOR SANITARY FIXTURE CALCULATIONS.
- REFER TO SHEET G.10 FOR PARKING STALL TABULATION. REFER TO TYPICAL PARKING STALL LAYOUT ON SHEET G.10 FOR PARKING STALL CONFIGURATIONS.
- REFER TO SHEETS A6.10 AND A6.20 FOR DOOR AND WINDOW SCHEDULES.
- REFER TO SHEET A7.40 FOR STOREFRONTS.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CONCRETE, AND STUD, OR CENTERLINE OF COLUMN.
- REFER TO ENLARGED PLANS FOR INFORMATION NOT SHOWN.
- THESE PLANS SHOW UNIQUE INFORMATION AND UNIT-TO-UNIT RELATIONSHIPS ONLY.
- REFER TO ENLARGED UNIT PLANS ON A4 SERIES SHEETS FOR INFORMATION NOT SHOWN.
- REFER TO STRUCTURAL DRAWINGS FOR:
 - A. SIZE AND LOCATION OF SHEAR WALLS.
 - B. SIZE AND LOCATION OF BEARING WALLS.
 - C. COLUMN AND BEAM SIZES.
 - D. FLOOR SLAB THICKNESS.
 - E. SIZE AND LOCATION OF FRAMING AND SHEATHING.
 - F. SPECIAL NAILING AND BLOCKING REQUIREMENTS.
- REFER TO CIVIL DRAWINGS FOR BUILDING LOCATION ON SITE AND PRECISE GRADING PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING EXACT TOP OF STRUCTURAL SLAB ELEVATION BASED ON CIVIL DRAWINGS.
- FINISHED AND SUB-SURFACE CONCRETE/PAVING THAT IS EXPOSED TO WEATHER IS TO SLOPE TO DRAIN AWAY FROM PERIMETER WALLS OF BUILDING UNLESS NOTED OTHERWISE.
- INTERIOR FINISHES SHALL COMPLY WITH CBC CHAPTER 8 FOR FLAME SPREAD PROVISIONS.
- ALL GARAGE WALLS TO BE PAINTED PER FINISH SPECIFICATIONS.
- ALL STAIR, ELEVATOR, TRASH, CHUTE, AND VENTILATION SHAFTS TO BE 2-HOUR FIRE-RATED BARRIERS. REFER TO SHEET A5.00.
- PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS AS REQUIRED FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEMS. IN FIRE-RATED ASSEMBLIES PROVIDE RATED ACCESS PANELS WITH SELF-CLOSING DEVICES.
- PROVIDE FIRE BLOCKING IN STUD WALL CONCEALED SPACES, INCLUDING FURRED SPACES, AT BOTH VERTICAL AND HORIZONTAL 10'-0" INTERVALS.
- GARAGE WILL BE FIRE SPRINKLERED THROUGHOUT.
- PROVIDE EXIT SIGNS CONNECTED TO A SOURCE OF EMERGENCY BACKUP POWER.
- ALL MECHANICAL DUCTS AND PLUMBING LINES ARE TO BE RUN TIGHT TO THE UNDERSIDE OF SLAB.
- ALL GARAGE CEILING CLEARANCES SHALL BE 7'-6" MINIMUM CLEAR FROM ALL FIXTURES, PLUMBING LINES, OR MECHANICAL DUCTS. ACCESSIBLE ROUTE TO ALL ACCESSIBLE PARKING STALLS SHALL BE 8'-2" MINIMUM CLEAR.
- SLOPE AT PARKING STALLS TO BE 5% MAXIMUM IN ANY DIRECTION.
- SLOPE AT ACCESSIBLE ROUTE AND ACCESSIBLE PARKING SHALL NOT EXCEED 2% MAXIMUM IN ANY DIRECTION.
- EQUIPMENT CONCRETE PAD LOCATIONS AND SIZES TO BE COORDINATED WITH GENERAL CONTRACTOR, SUB-CONTRACTOR, AND LOCAL UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY CONFLICTS AND/OR DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- GANGED UTILITY LINES THAT PASS THROUGH THE SLAB AND WALL WATERPROOFING NEEDED TO BE SPACED 6 INCHES CLEAR TO ALLOW FOR WATERPROOFING DETAILING AROUND THE PIPE/CONDUIT PENETRATION

ACOUSTICAL NOTES:

- HOLD THE GYPSUM BOARD APPROXIMATELY 1/4-INCH FROM STRUCTURE AT TOP AND BOTTOM OF THE WALL. THE OUTERMOST LAYER OF GYPSUM BOARD SHOULD BE CALLED WITH RESILIENT NON-HASINGING ACOUSTICAL SEALANT. SEALANT IS NOT REQUIRED FOR INNER LAYERS OR UNDER RUNNERS.
- ELECTRICAL BOX PADS SHALL BE INSTALLED BEHIND ALL ELECTRICAL BOXES IN DEMISING WALL, CORRIDOR WALL AND FLOOR CEILING ASSEMBLIES. ELECTRICAL BOX PADS SHALL COMPLETELY WRAP THE ELECTRICAL BOXES AND EXTEND TO THE BACK OF THE DEMISING WALL.
- RECESSED ELEMENTS SHALL BE BOXED ON ALL RECESSED SIDES WITH EQUAL LAYERS OF MATERIAL OF THE WALL. FOR STAGGERED AND DOUBLE STUD WALLS, BACKING LAYERS FOR RECESSED ELEMENTS SHALL NOT BRIDGE OPPOSING SIDES OF STAGGERED AND DOUBLE STUDS.
- IN A DEMISING WALL CONDITION, CONDUIT (AND ALL OTHER SERVICES INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING) SHALL BE RUN ON THE STUD SIDE SERVED.
- ALL RESILIENT CHANNEL SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS WITH CLOSE ATTENTION PAID TO MAINTAINING A GAP BETWEEN THE STRUCTURE AND THE CHANNEL AT THE PERIMETER, USING THE PRE-DRILLED HOLES TO SCREW TO THE JOISTS. USING A TECH SCREW TO HOLD THE OVERLAPPING CHANNELS TOGETHER, HAVING NO FREE FLANGE IN CONTACT WITH THE STRUCTURE PRIOR TO THE INSTALLATION OF GYPSUM BOARD. MARKING THE LOCATION OF THE JOISTS TO VERIFY THAT NO SCREW IS POTENTIALLY CONNECTING TO A JOIST.
- THICKNESS OF BATT INSULATION SHOULD MATCH THE DEPTH OF THE STUDS.
- INSTALL INSULATION IN ALL SOUND-RATED WALLS AND ALL WALLS CONTAINING PLUMBING OR MECHANICAL PIPING.
- IN STAGGERED AND DOUBLE STUD WALLS, THE FOLLOWING REQUIREMENTS APPLY:
 - a. ALL SERVICES (PLUMBING, CONDUIT, ETC.) SHOULD BE RUN IN THE STUD SIDE SERVED, WITH NO CONTACT WITH THE OTHER SET OF STUDS. DO NOT RUN WITHIN THE AIR GAP BETWEEN THE STUD ROWS.
 - b. NO GUSSETS OR BRACING BETWEEN THE STUD ROWS IS ALLOWED.
- FOR FLOATING FLOOR CONSTRUCTION, CONSTRUCT WALLS AND PROVIDE PERIMETER ISOLATION BOARD BEFORE LAYING DOWN RESILIENT UNDERLAYMENT AND POURING GYPSUM CONCRETE FLOORS.

FLOOR PLAN LEGEND

- DETECTABLE WARNING STRIP, 3/8" MINIMUM IN DIRECTION OF TRAVEL
- MINIMUM 8'-2" HEADROOM CLEARANCE FOR DISABLED ACCESS PATHS OF TRAVEL. CLEARANCES SHALL BE MEASURED FROM THE LOWEST POINT OF STRUCTURE, MECHANICAL DUCTS, UTILITY PIPING, LIGHTING FIXTURES, ETC. TO THE FINISH FLOOR LEVEL.
- CORRIDOR, EXTERIOR PLASTER WALLS AND CEILING, PROVIDE CONTROL JOINTS AT 8'-0" O.C. & WATERPROOFING UNDER THE TOPPING SLAB.

HOLLYWOOD PARK RESIDENTIAL - MU-10

INGLEWOOD, CALIFORNIA
HOLLYWOOD PARK RETAIL AND COMMERCIAL INVESTORS, LLC

OVERALL & SEGMENT PLAN NOTES

NOT FOR CONSTRUCTION